



DEVELOPMENT PERMIT NO. DP000932

MOUNT BENSON DEVELOPMENTS INC
Name of Owner(s) of Land (Permittee)

5701 VANDERNEUK ROAD
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

THAT PART OF DISTRICT LOT 50, WELLINGTON DISTRICT, LYING TO THE SOUTH OF A STRAIGHT BOUNDARY JOINING POINTS ON THE EASTERLY AND WESTERLY BOUNDARIES OF SAID LOT DISTANT 12.59 CHAINS AND 17.59 CHAINS RESPECTIVELY FROM THE NORTH EAST AND NORTH WEST CORNERS OF SAID LOT EXCEPT PART IN PLANS VIP78550, VIP84086, VIP84702, VIP87626, VIP88206, EPP45899 AND EPP45902

PID No. 001-097-873

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan
Schedule B Lot Layout
Schedule C Parks and Trails Plan
Schedule D Slope Analysis Plan
Schedule E Tree Management Plan
Schedule F Slope Protection Area
Schedule G Storm Water Management Plan
Schedule H Site Servicing Plan

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
- 4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

REVIEWED AND APPROVED ON

2015-MAY-27

Date



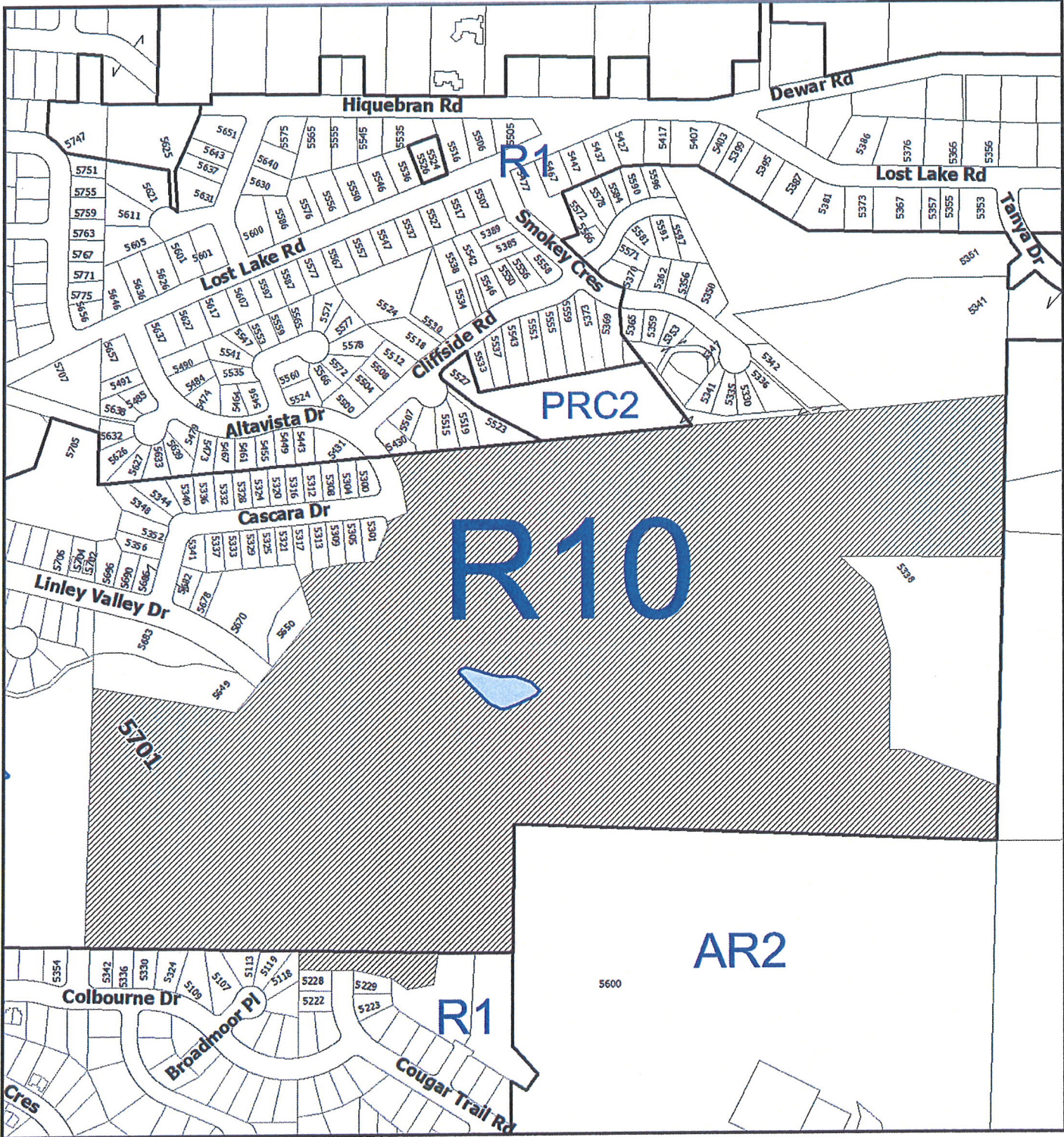
D. Lindsay
Director

Community Development

Pursuant to Section 154 (1)(b) of the Community Charter

GN/in

Prospero attachment: DP000932



DEVELOPMENT PERMIT NO. DP000932

LOCATION PLAN

Civic: 5701 Vanderneuk Road



This is Schedule A referred to in the Development Permit.

Date 2015-MAY-27

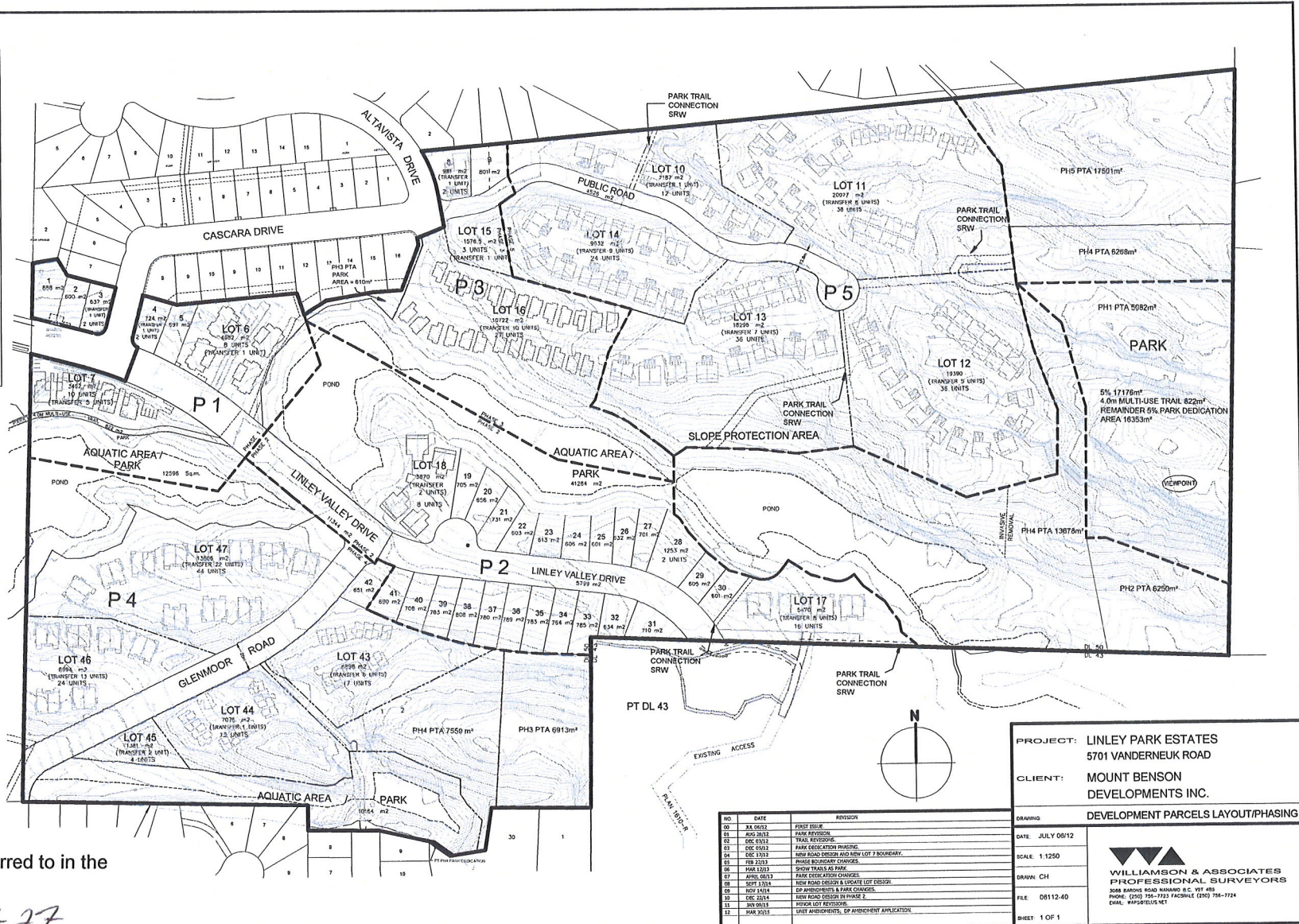
Director [Signature]
 Community Development

TOTAL SITE AREA	329855 m ²
AQUATIC AREA	84044 m ²
DEVELOPMENT AREA	25061 m ²
PARK DEDICATION 5%	12775 m ²
DEVELOPMENT AREA	248636 m ²

PARK DEDICATION	81036 m ²	PARK SHOWN	(non-equated)
61036 m ²	5% REQUIRED	TRANSFER AREA	
63501 m ²			
4.0m TRAIL	822 m ²		
PARK AREA	16353 m ²		
TOTAL AREA	17175 m ²		

LOTS 600m ² OR LARGER = 27			
MULTI-SITES (M) & SMALL LOTS (S)			
M-LOT AREA	UNITS	TRANSFER	TOTAL
3	637	1	2
4	734	1	2
6	4662	7	8
7	3462	5	10
8	981	1	2
10	7187	11	12
11	20017	32	36
12	18200	31	35
13	18296	29	7
14	9632	15	9
15	1577	2	1
16	10722	17	10
17	5410	8	8
18	3570	6	2
28	1263	6	2
43	6839	11	6
44	7078	11	2
45	1381	2	2
46	8994	11	13
47	13806	22	22
144139	225	102	327
T/A	63892	(TRANSFER AREA)	(102)
TOTAL UNITS	= 354 UNITS		
ZONING RTO	= 16 UNITS/HA		

PHASED PARK AREA DEDICATION			
PTA = PARK TRANSFER AREA			
PHASE	AREA	UNITS	
1	5082	8	
2	9250	10	
3	7523	12	
4	17501	44	
5	17501	28	
TOTAL	63861	102	



This is Schedule B referred to in the Development Permit.

Date 2015-MAY-27

 Director
 Community Development

NO	DATE	REVISION
01	24 06/12	FIRST ISSUE
02	06/02/12	PARK REVISION
03	06/02/12	TRAIL REVISIONS
04	06/02/12	PARK DEDICATION PHASING
05	06/02/12	NEW ROAD DESIGN AND NEW LOT 7 BOUNDARY
06	06/02/12	PHASE BOUNDARY CHANGES
07	06/02/12	PHASE TRAILS & PARK
08	06/02/12	PARK DEDICATION CHANGES
09	06/02/12	NEW ROAD DESIGN & UNITS LOT DESIGN
10	06/02/12	DP AMENDMENTS & PARK CHANGES
11	06/02/12	NEW ROAD DESIGN & PHASE 2
12	06/02/12	UNITS LOT REVISIONS
13	06/02/12	UNITS AMENDMENTS, DP AMENDMENT APPLICATION

PROJECT: LINLEY PARK ESTATES
5701 VANDERNEUK ROAD

CLIENT: MOUNT BENSON DEVELOPMENTS INC.

DRAWING: DEVELOPMENT PARCELS LAYOUT/PHASING

DATE: JULY 06/12

SCALE: 1:1250

DRAWN: CH

FILE: 08112-40

SHEET: 1 OF 1

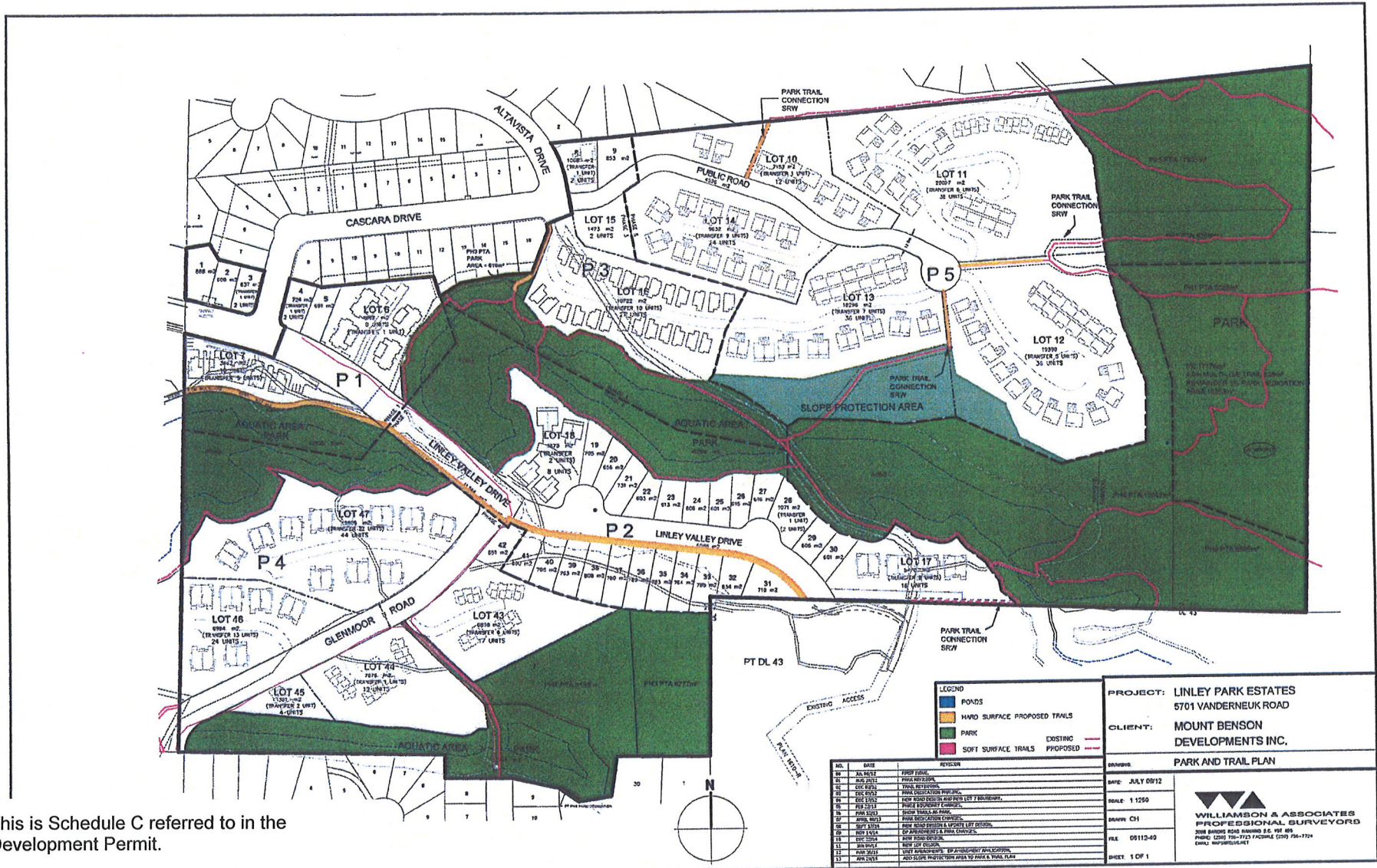
WILLIAMSON & ASSOCIATES
PROFESSIONAL SURVEYORS
3088 BARONS ROAD HANNOCK B.C. V1T 4B3
PHONE: (250) 755-7533 FACSIMILE: (250) 755-7124
EMAIL: WAF@TELUS.NET

RECEIVED
By L. Nielsen at 4:01 pm, May 01, 2015

Development Permit DP000932
5701 Vanderneuk Road

Schedule C

PARKS AND TRAILS PLAN



LEGEND	EXISTING	PROPOSED
PONDS	(Blue fill)	(Blue fill)
HARD SURFACE PROPOSED TRAILS	(Orange line)	(Orange line)
PARK	(Green fill)	(Green fill)
SOFT SURFACE TRAILS	(Red line)	(Red line)

PROJECT: LINLEY PARK ESTATES
5701 VANDERNEUK ROAD
CLIENT: MOUNT BENSON DEVELOPMENTS INC.
DRAWING: PARK AND TRAIL PLAN

NO.	DATE	REVISION
01	01/14/12	PREP PLAN
02	01/14/12	1. PARK DESIGN
03	01/14/12	2. TRAIL REVISIONS
04	01/14/12	3. PARK DESIGN REVISIONS
05	01/14/12	4. PARK DESIGN REVISIONS
06	01/14/12	5. PARK DESIGN REVISIONS
07	01/14/12	6. PARK DESIGN REVISIONS
08	01/14/12	7. PARK DESIGN REVISIONS
09	01/14/12	8. PARK DESIGN REVISIONS
10	01/14/12	9. PARK DESIGN REVISIONS
11	01/14/12	10. PARK DESIGN REVISIONS
12	01/14/12	11. PARK DESIGN REVISIONS
13	01/14/12	12. PARK DESIGN REVISIONS
14	01/14/12	13. PARK DESIGN REVISIONS
15	01/14/12	14. PARK DESIGN REVISIONS
16	01/14/12	15. PARK DESIGN REVISIONS
17	01/14/12	16. PARK DESIGN REVISIONS
18	01/14/12	17. PARK DESIGN REVISIONS
19	01/14/12	18. PARK DESIGN REVISIONS
20	01/14/12	19. PARK DESIGN REVISIONS
21	01/14/12	20. PARK DESIGN REVISIONS
22	01/14/12	21. PARK DESIGN REVISIONS
23	01/14/12	22. PARK DESIGN REVISIONS
24	01/14/12	23. PARK DESIGN REVISIONS
25	01/14/12	24. PARK DESIGN REVISIONS
26	01/14/12	25. PARK DESIGN REVISIONS
27	01/14/12	26. PARK DESIGN REVISIONS
28	01/14/12	27. PARK DESIGN REVISIONS
29	01/14/12	28. PARK DESIGN REVISIONS
30	01/14/12	29. PARK DESIGN REVISIONS
31	01/14/12	30. PARK DESIGN REVISIONS
32	01/14/12	31. PARK DESIGN REVISIONS
33	01/14/12	32. PARK DESIGN REVISIONS
34	01/14/12	33. PARK DESIGN REVISIONS
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37	01/14/12	36. PARK DESIGN REVISIONS
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48	01/14/12	47. PARK DESIGN REVISIONS
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51	01/14/12	50. PARK DESIGN REVISIONS
52	01/14/12	51. PARK DESIGN REVISIONS
53	01/14/12	52. PARK DESIGN REVISIONS
54	01/14/12	53. PARK DESIGN REVISIONS
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81	01/14/12	80. PARK DESIGN REVISIONS
82	01/14/12	81. PARK DESIGN REVISIONS
83	01/14/12	82. PARK DESIGN REVISIONS
84	01/14/12	83. PARK DESIGN REVISIONS
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87	01/14/12	86. PARK DESIGN REVISIONS
88	01/14/12	87. PARK DESIGN REVISIONS
89	01/14/12	88. PARK DESIGN REVISIONS
90	01/14/12	89. PARK DESIGN REVISIONS
91	01/14/12	90. PARK DESIGN REVISIONS
92	01/14/12	91. PARK DESIGN REVISIONS
93	01/14/12	92. PARK DESIGN REVISIONS
94	01/14/12	93. PARK DESIGN REVISIONS
95	01/14/12	94. PARK DESIGN REVISIONS
96	01/14/12	95. PARK DESIGN REVISIONS
97	01/14/12	96. PARK DESIGN REVISIONS
98	01/14/12	97. PARK DESIGN REVISIONS
99	01/14/12	98. PARK DESIGN REVISIONS
100	01/14/12	99. PARK DESIGN REVISIONS

DATE: JULY 09/12
SCALE: 1:1250
DRAWN: CH
FILE: 08112-40
SHEET: 1 OF 1

WILLIAMSON & ASSOCIATES
PROFESSIONAL SURVEYORS
2008 BRIDGE ROAD SUITE 100 E.C. 107 405
PARKS LODGE 750-7723 FACSIMILE (252) 754-7724
EMAIL: WPA@WPA-CAT.com

This is Schedule C referred to in the Development Permit.

Date: 2015-04-27
Director: [Signature]
Community Development

SLOPE ANALYSIS PLAN

TOTAL SITE AREA	329855 m ²
AQUATIC AREA	64014 m ²
DEVELOPMENT AREA	250511 m ²
PARK DEDICATION 5%	17175 m ²
DEVELOPMENT AREA	248636 m ²

PARK DEDICATION	PARK SHOWN (non-optic)
81036 m ²	5% REQUIRED
17175 m ²	TRANSFER AREA
63561 m ²	

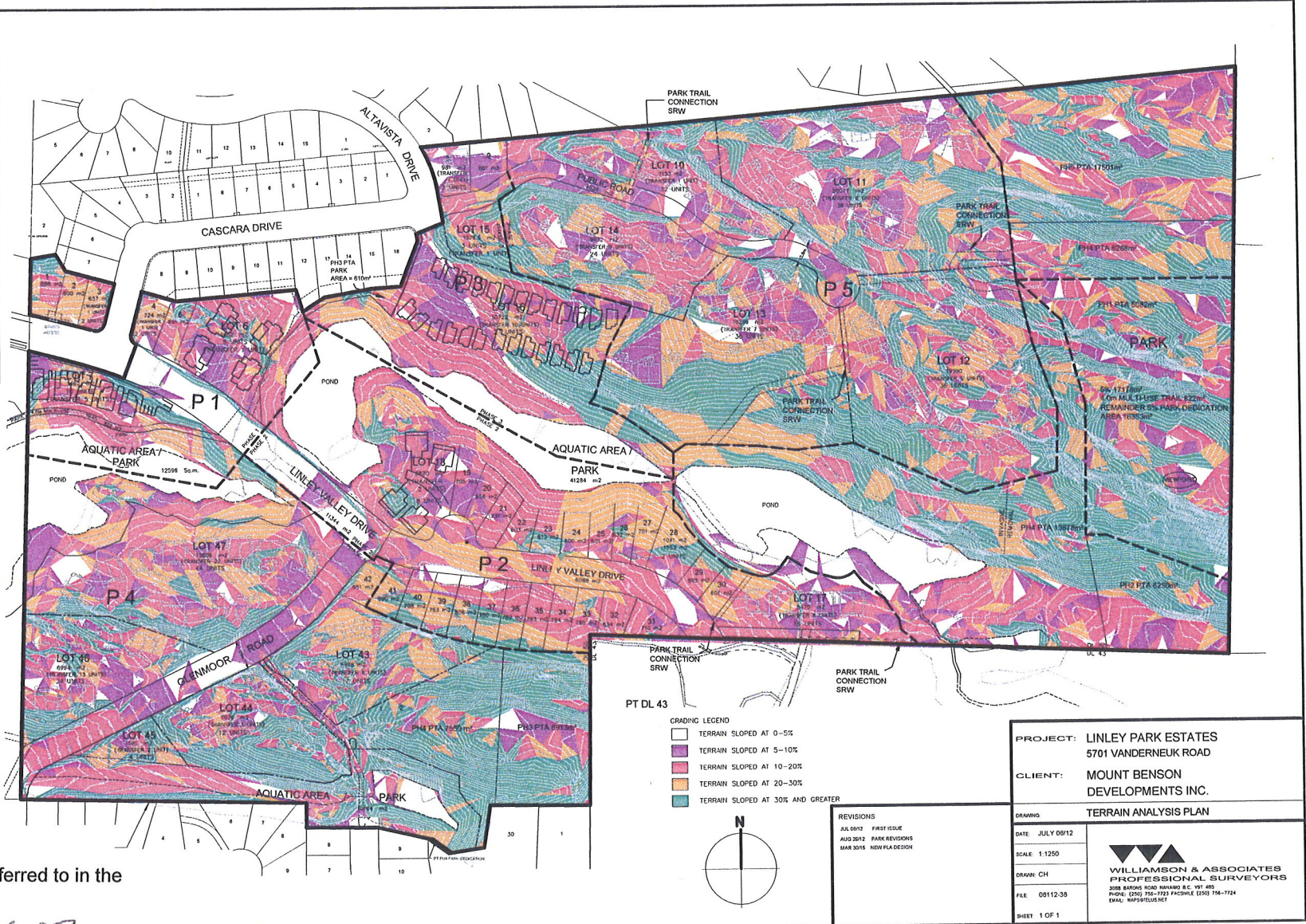
4.0m TRAIL	822 m ²
PARK AREA	16353 m ²
TOTAL AREA	17175 m ²

LOTS 600m ² OR LARGER = 27			
MULTI-SITES (M) & SMALL LOTS (S)	UNITS	TRANSFER	TOTAL
3	637	1	2
4	754	1	2
6	4582	7	8
7	3462	5	10
8	901	1	2
10	7197	11	12
11	20077	32	36
12	19390	30	36
13	18298	29	36
14	9632	15	24
15	1577	2	3
16	10722	17	27
17	5470	8	16
18	3970	6	8
28	1253	2	2
43	6898	11	12
44	7076	11	12
45	1391	2	4
46	6934	11	24
47	13506	22	44

144139	225	102	327
T/A	63862	(TRANSFER AREA)	(102)

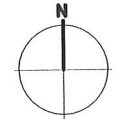
TOTAL UNITS = 354 UNITS
ZONING R1D - 16 UNITS/HA

PHASED PARK AREA DEDICATION		
PTA = PARK TRANSFER AREA		
PHASE	AREA	UNITS
1	5082	8
2	6250	10
3	7523	12
4	17501	44
5		28
TOTAL	63961	102



PT DL 43

GRADING LEGEND	
[White Box]	TERRAIN SLOPED AT 0-5%
[Light Purple Box]	TERRAIN SLOPED AT 5-10%
[Medium Purple Box]	TERRAIN SLOPED AT 10-20%
[Dark Purple Box]	TERRAIN SLOPED AT 20-30%
[Blue Box]	TERRAIN SLOPED AT 30% AND GREATER



REVISIONS	
AUG 2012	FIRST ISSUE
AUG 2012	PARK REVISIONS
MAR 2015	NEW PIA DESIGN

PROJECT:	LINLEY PARK ESTATES 5701 VANDERNEUK ROAD
CLIENT:	MOUNT BENSON DEVELOPMENTS INC.
DRAWING:	TERRAIN ANALYSIS PLAN
DATE:	JULY 09/12
SCALE:	1:1250
DRAWN:	CH
FILE:	00112-53
SHEET:	1 OF 1



This is Schedule D referred to in the Development Permit.

2015 - MAY - 27
Date _____
Director _____
Community Development

RECEIVED
By L. Nielsen at 4:01 pm, May 01, 2015

This is Schedule E referred to in the Development Permit.

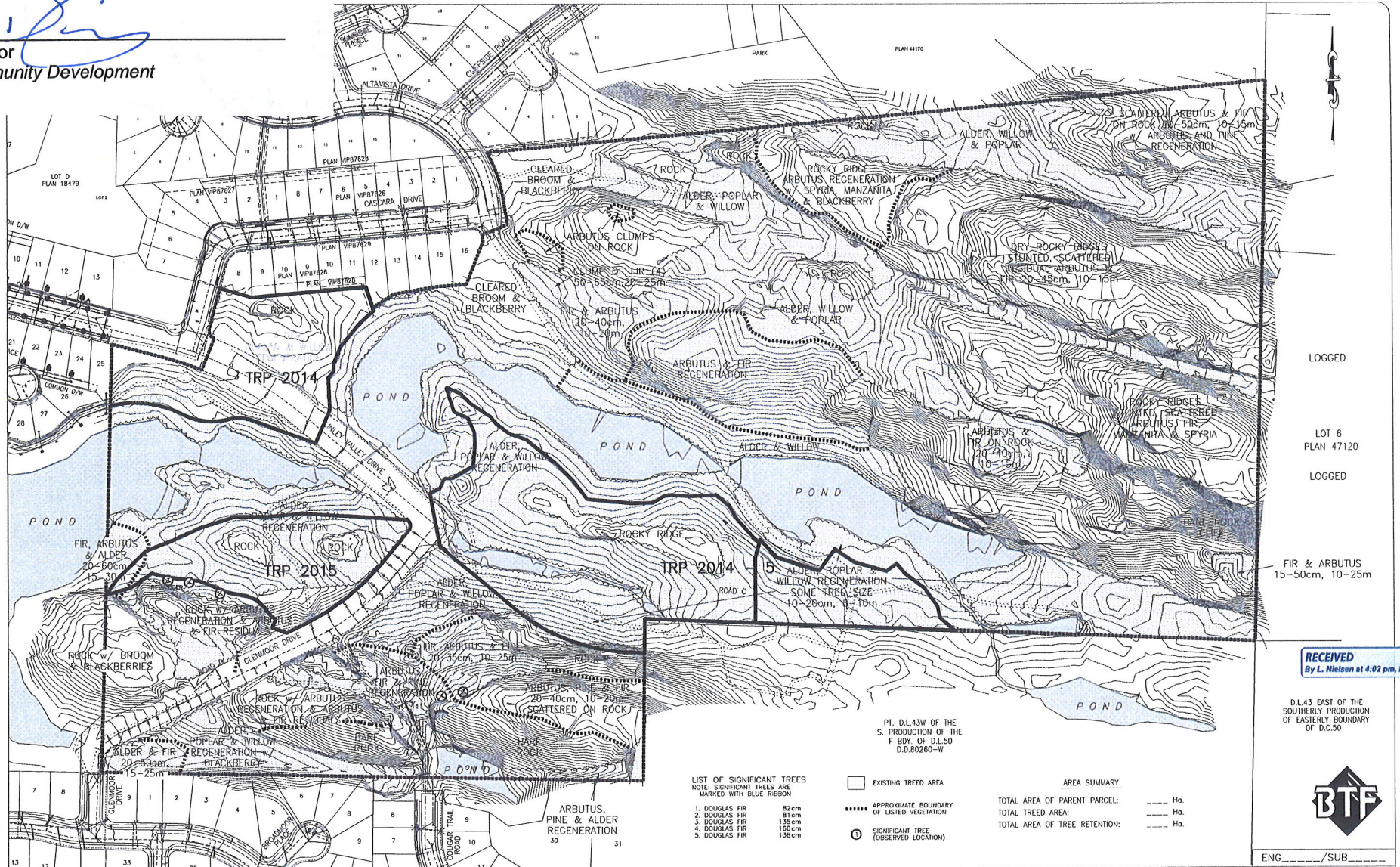
Development Permit DP000932
5701 Vanderneuk Road

Schedule E

TREE MANAGEMENT PLAN

Date 2015-MAY-27

Director Community Development



LOGGED

LOT 6
PLAN 47120

LOGGED

FIR & ARBUTUS
15-50cm, 10-25m

RECEIVED
By L. Nielson at 4:02 pm, May 01, 2015

D.L.43 EAST OF THE
SOUTHERLY PRODUCTION
OF EASTERLY BOUNDARY
OF D.C.50



ENG _____ / SUB _____

LIST OF SIGNIFICANT TREES
NOTE: SIGNIFICANT TREES ARE
MARKED WITH BLUE RIBBON

1. DOUGLAS FIR 82cm
2. DOUGLAS FIR 81cm
3. DOUGLAS FIR 135cm
4. DOUGLAS FIR 160cm
5. DOUGLAS FIR 138cm

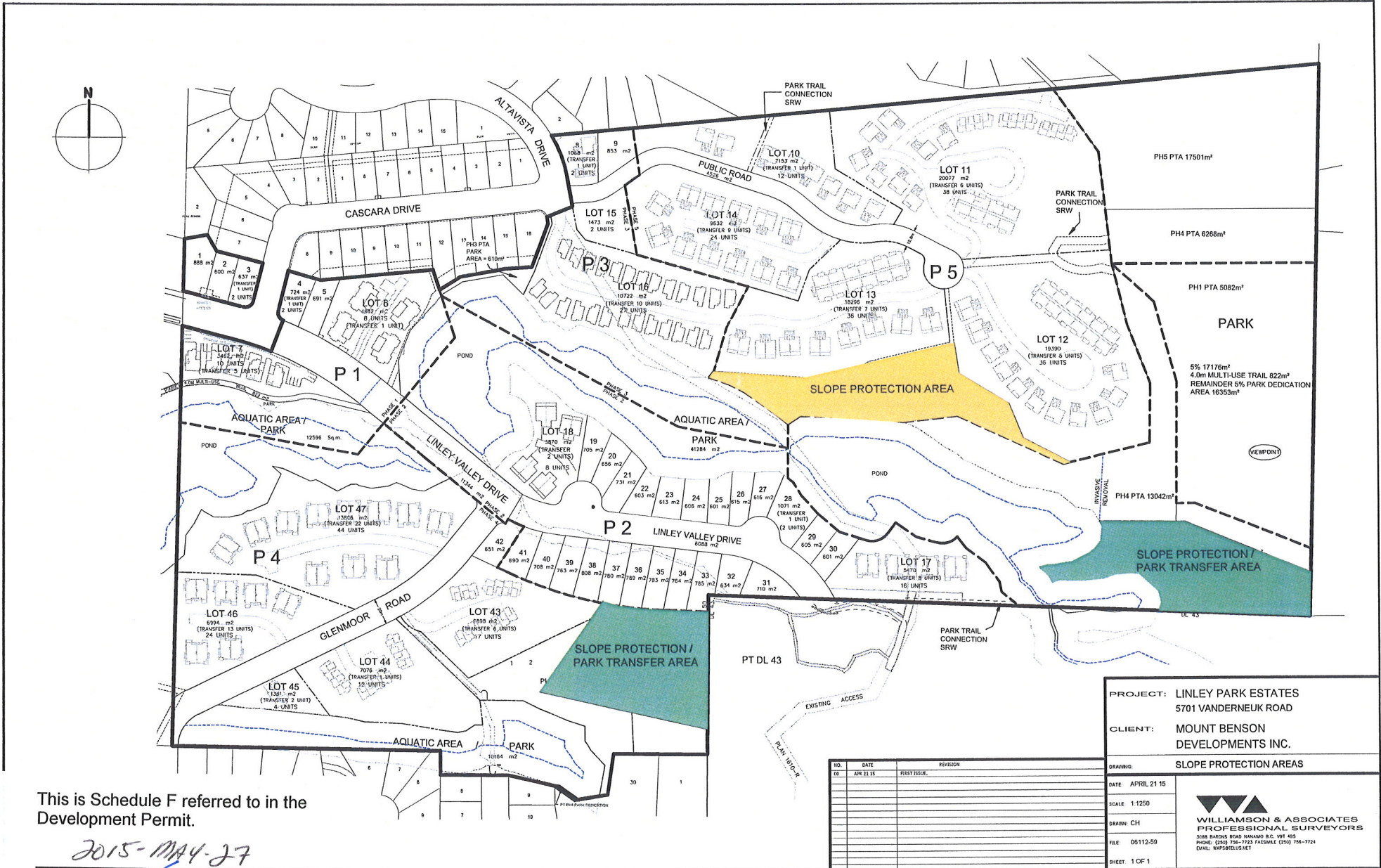
- EXISTING TREED AREA
- ***** APPROXIMATE BOUNDARY OF LISTED VEGETATION
- ⊙ SIGNIFICANT TREE (OBSERVED LOCATION)

AREA SUMMARY

TOTAL AREA OF PARENT PARCEL: ----- Ha
TOTAL TREED AREA: ----- Ha
TOTAL AREA OF TREE RETENTION: ----- Ha

<table border="1"> <tr> <th>Rev. No.</th> <th>DATE</th> <th>BY</th> <th>REVISION DESCRIPTION</th> </tr> <tr> <td>01</td> <td>05/02/07</td> <td>dh</td> <td>UPDATED LEGAL AND LAYOUT</td> </tr> <tr> <td>02</td> <td>04/20/10</td> <td>dh</td> <td>AS CONSIDERED ON-SITE WATERMAIN ADDED/SUBORDINATE DEVELOPMENT ADDED/SITE REVEALED</td> </tr> <tr> <td>03</td> <td>05/15/12</td> <td>dh</td> <td>FIELD CHECKED BY BARRY FURNBERG, PHD3054</td> </tr> </table>	Rev. No.	DATE	BY	REVISION DESCRIPTION	01	05/02/07	dh	UPDATED LEGAL AND LAYOUT	02	04/20/10	dh	AS CONSIDERED ON-SITE WATERMAIN ADDED/SUBORDINATE DEVELOPMENT ADDED/SITE REVEALED	03	05/15/12	dh	FIELD CHECKED BY BARRY FURNBERG, PHD3054	<table border="1"> <tr> <th>ENGR</th> <th>PROJ</th> <th>EXIST</th> <th>PROJ</th> <th>EXIST</th> </tr> <tr> <td>WATERMAIN</td> <td>WATERMAIN</td> <td>WATERMAIN</td> <td>WATERMAIN</td> <td>WATERMAIN</td> </tr> <tr> <td>STORM SEWER</td> <td>STORM SEWER</td> <td>STORM SEWER</td> <td>STORM SEWER</td> <td>STORM SEWER</td> </tr> <tr> <td>SANITARY SEWER</td> <td>SANITARY SEWER</td> <td>SANITARY SEWER</td> <td>SANITARY SEWER</td> <td>SANITARY SEWER</td> </tr> <tr> <td>GAS MAIN</td> <td>GAS MAIN</td> <td>GAS MAIN</td> <td>GAS MAIN</td> <td>GAS MAIN</td> </tr> <tr> <td>ELECTRICAL DUCT</td> <td>ELECTRICAL DUCT</td> <td>ELECTRICAL DUCT</td> <td>ELECTRICAL DUCT</td> <td>ELECTRICAL DUCT</td> </tr> <tr> <td>CONCRETE & DITCH</td> <td>CONCRETE & DITCH</td> <td>CONCRETE & DITCH</td> <td>CONCRETE & DITCH</td> <td>CONCRETE & DITCH</td> </tr> <tr> <td>DITCH INFLET/OUTLET</td> <td>DITCH INFLET/OUTLET</td> <td>DITCH INFLET/OUTLET</td> <td>DITCH INFLET/OUTLET</td> <td>DITCH INFLET/OUTLET</td> </tr> <tr> <td>GRAVEL</td> <td>GRAVEL</td> <td>GRAVEL</td> <td>GRAVEL</td> <td>GRAVEL</td> </tr> <tr> <td>EDGE OF PAVEMENT</td> <td>EDGE OF PAVEMENT</td> <td>EDGE OF PAVEMENT</td> <td>EDGE OF PAVEMENT</td> <td>EDGE OF PAVEMENT</td> </tr> <tr> <td>VALVE BOX</td> <td>VALVE BOX</td> <td>VALVE BOX</td> <td>VALVE BOX</td> <td>VALVE BOX</td> </tr> <tr> <td>LIMIT OF CONSTRUCTION</td> <td>LIMIT OF CONSTRUCTION</td> <td>LIMIT OF CONSTRUCTION</td> <td>LIMIT OF CONSTRUCTION</td> <td>LIMIT OF CONSTRUCTION</td> </tr> </table>	ENGR	PROJ	EXIST	PROJ	EXIST	WATERMAIN	WATERMAIN	WATERMAIN	WATERMAIN	WATERMAIN	STORM SEWER	STORM SEWER	STORM SEWER	STORM SEWER	STORM SEWER	SANITARY SEWER	SANITARY SEWER	SANITARY SEWER	SANITARY SEWER	SANITARY SEWER	GAS MAIN	GAS MAIN	GAS MAIN	GAS MAIN	GAS MAIN	ELECTRICAL DUCT	ELECTRICAL DUCT	ELECTRICAL DUCT	ELECTRICAL DUCT	ELECTRICAL DUCT	CONCRETE & DITCH	CONCRETE & DITCH	CONCRETE & DITCH	CONCRETE & DITCH	CONCRETE & DITCH	DITCH INFLET/OUTLET	DITCH INFLET/OUTLET	DITCH INFLET/OUTLET	DITCH INFLET/OUTLET	DITCH INFLET/OUTLET	GRAVEL	GRAVEL	GRAVEL	GRAVEL	GRAVEL	EDGE OF PAVEMENT	EDGE OF PAVEMENT	EDGE OF PAVEMENT	EDGE OF PAVEMENT	EDGE OF PAVEMENT	VALVE BOX	VALVE BOX	VALVE BOX	VALVE BOX	VALVE BOX	LIMIT OF CONSTRUCTION	LIMIT OF CONSTRUCTION	LIMIT OF CONSTRUCTION	LIMIT OF CONSTRUCTION	LIMIT OF CONSTRUCTION	<table border="1"> <tr> <th>SITE LEGAL DESCRIPTION</th> <th>ENGINEER'S SEAL</th> <th>DESIGN</th> <th>CLIENT NAME</th> <th>DRAWING TITLE</th> </tr> <tr> <td>PART OF REMAINDER D.L.50 D80260-W, WELLINGTON DISTRICT</td> <td></td> <td>RHS</td> <td>MOUNT BENSON DEVELOPMENTS LTD.</td> <td>TREE MANAGEMENT PLAN</td> </tr> <tr> <td>BENCHMARK DESCRIPTION</td> <td></td> <td>DRWEN dh</td> <td></td> <td></td> </tr> <tr> <td>ELEVATIONS ARE GEODETIC AND ARE REFERRED TO MONUMENT No. 79H8326 LOCATED ON LOST LAKE ROAD ELEVATION 167.172m</td> <td></td> <td>CHECKED</td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td>PLAT DATE 08-21-12</td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td>PRINT DATE</td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td>HORIZONTAL SCALE 1:1250</td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td>VERTICAL SCALE</td> <td></td> <td></td> </tr> </table>	SITE LEGAL DESCRIPTION	ENGINEER'S SEAL	DESIGN	CLIENT NAME	DRAWING TITLE	PART OF REMAINDER D.L.50 D80260-W, WELLINGTON DISTRICT		RHS	MOUNT BENSON DEVELOPMENTS LTD.	TREE MANAGEMENT PLAN	BENCHMARK DESCRIPTION		DRWEN dh			ELEVATIONS ARE GEODETIC AND ARE REFERRED TO MONUMENT No. 79H8326 LOCATED ON LOST LAKE ROAD ELEVATION 167.172m		CHECKED					PLAT DATE 08-21-12					PRINT DATE					HORIZONTAL SCALE 1:1250					VERTICAL SCALE			<table border="1"> <tr> <th>PROJECT TYPE</th> <th>CLIENT No.</th> <th>PROJECT No.</th> <th>DRAWING No.</th> <th>REVISION No.</th> <th>OFFY PLAN FILE No.</th> </tr> <tr> <td>L</td> <td>019</td> <td>08</td> <td>TMP</td> <td>03</td> <td></td> </tr> </table>	PROJECT TYPE	CLIENT No.	PROJECT No.	DRAWING No.	REVISION No.	OFFY PLAN FILE No.	L	019	08	TMP	03	
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PART OF REMAINDER D.L.50 D80260-W, WELLINGTON DISTRICT		RHS	MOUNT BENSON DEVELOPMENTS LTD.	TREE MANAGEMENT PLAN																																																																																																																															
BENCHMARK DESCRIPTION		DRWEN dh																																																																																																																																	
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PROJECT TYPE	CLIENT No.	PROJECT No.	DRAWING No.	REVISION No.	OFFY PLAN FILE No.																																																																																																																														
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SLOPE PROTECTION AREA



PROJECT: LINLEY PARK ESTATES
5701 VANDERNEUK ROAD
CLIENT: MOUNT BENSON DEVELOPMENTS INC.
DRAWING: SLOPE PROTECTION AREAS

NO.	DATE	REVISION
01	APR 21 15	FIRST ISSUE

DATE: APRIL 21 15
SCALE: 1:1250
DRAWN: CH
FILE: 05112-50
SHEET: 1 OF 1

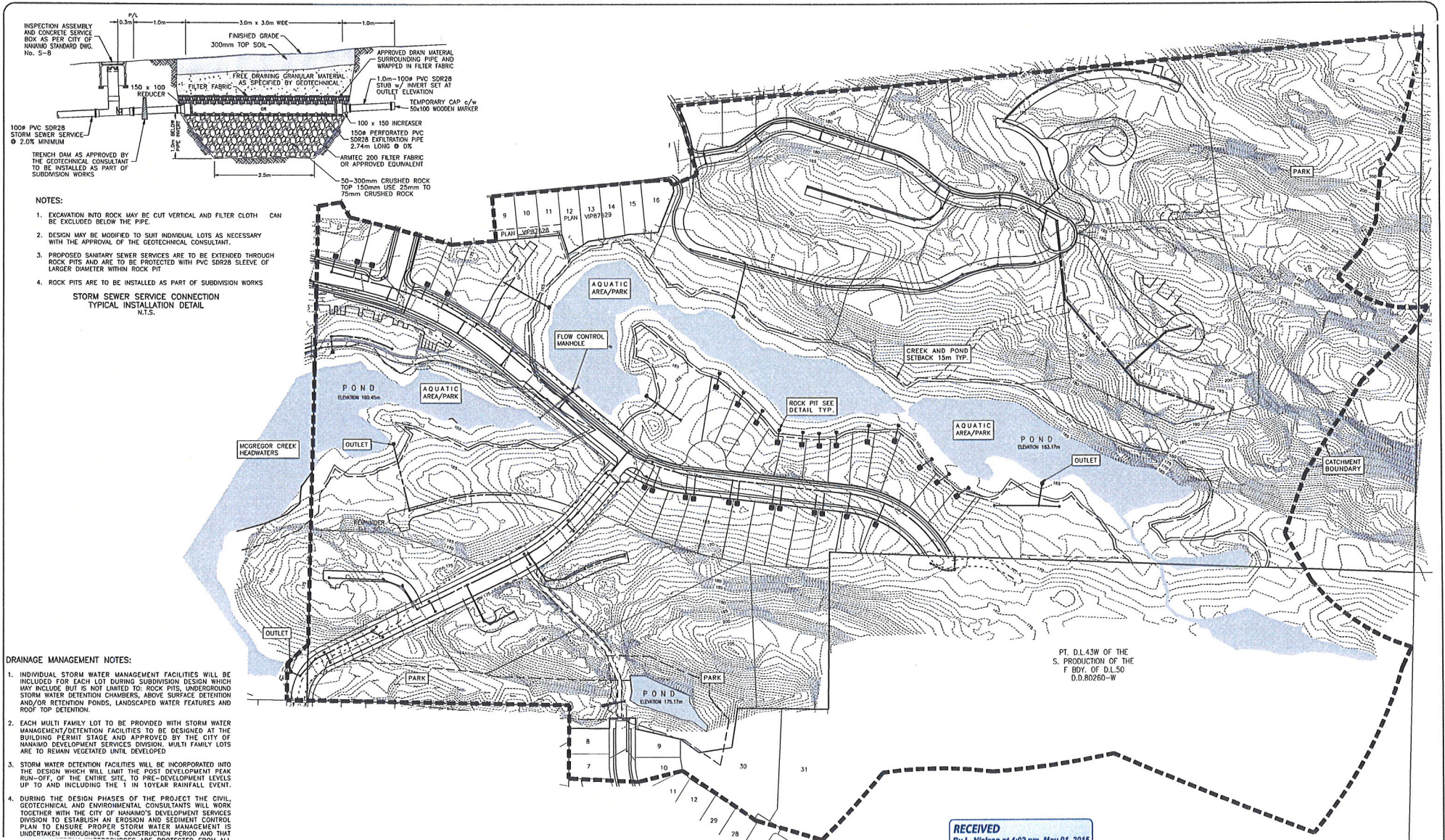
WILLIAMSON & ASSOCIATES
PROFESSIONAL SURVEYORS
2008 BAYVIEW ROAD, VANCOUVER, B.C. V6T 1G5
PHONE: (604) 736-7723 FACSIMILE: (604) 754-7724
EMAIL: WAPS@TELUS.NET

This is Schedule F referred to in the Development Permit.

Date: 2015-MAY-27

Director: [Signature]
Community Development

STORM WATER MANAGEMENT PLAN



RECEIVED
By L. Nielsen at 4:02 pm, May 01, 2015

This is Schedule G referred to in the Development Permit.

Date 2015-MAY-27
[Signature]
Director
Community Development

Legend PSPP: HYDRANT, ABOVE GROUND, BELOW GROUND, CATCHMENT, MANHOLE, CLEANOUT, HYDRO POLE, CAP, STREETLIGHT, FENCE EXIST: (various symbols)	SITE LEGAL DESCRIPTION PART OF REMAINDER D.L.50 D00260-W, WELLINGTON DISTRICT BENCHMARK DESCRIPTION ELEVATIONS ARE GEODETIC AND ARE REFERRED TO MONUMENT No. 7919328 LOCATED ON LOST LAKE ROAD ELEVATION = 187.12m	ENGINEER'S SEAL DESIGN: RHS DRAWN: DB CHECKED: RHS PLOT DATE: 04-30-15 PRINT DATE:	CLIENT NAME MOUNT BENSON DEVELOPMENTS INC PROJECT NAME LINLEY PARK ESTATES 5701 VANDERNEUK ROAD	DRAWING TITLE STORM WATER MANAGEMENT PLAN PROJECT TYPE: L CLIENT No.: 019 PROJECT No.: 08 DRAWING No.: DMP REVISION No.: 02 CITY PLAN FILE No.:
	HORIZONTAL SCALE 1:1250 VERTICAL SCALE N/A	PT. D.L.43W OF THE S. PRODUCTION OF THE F. BOY. OF D.L.50 D.D.80260-W		



This is Schedule H referred to in the Development Permit.

Development Permit DP000932
5701 Vanderneuk Road

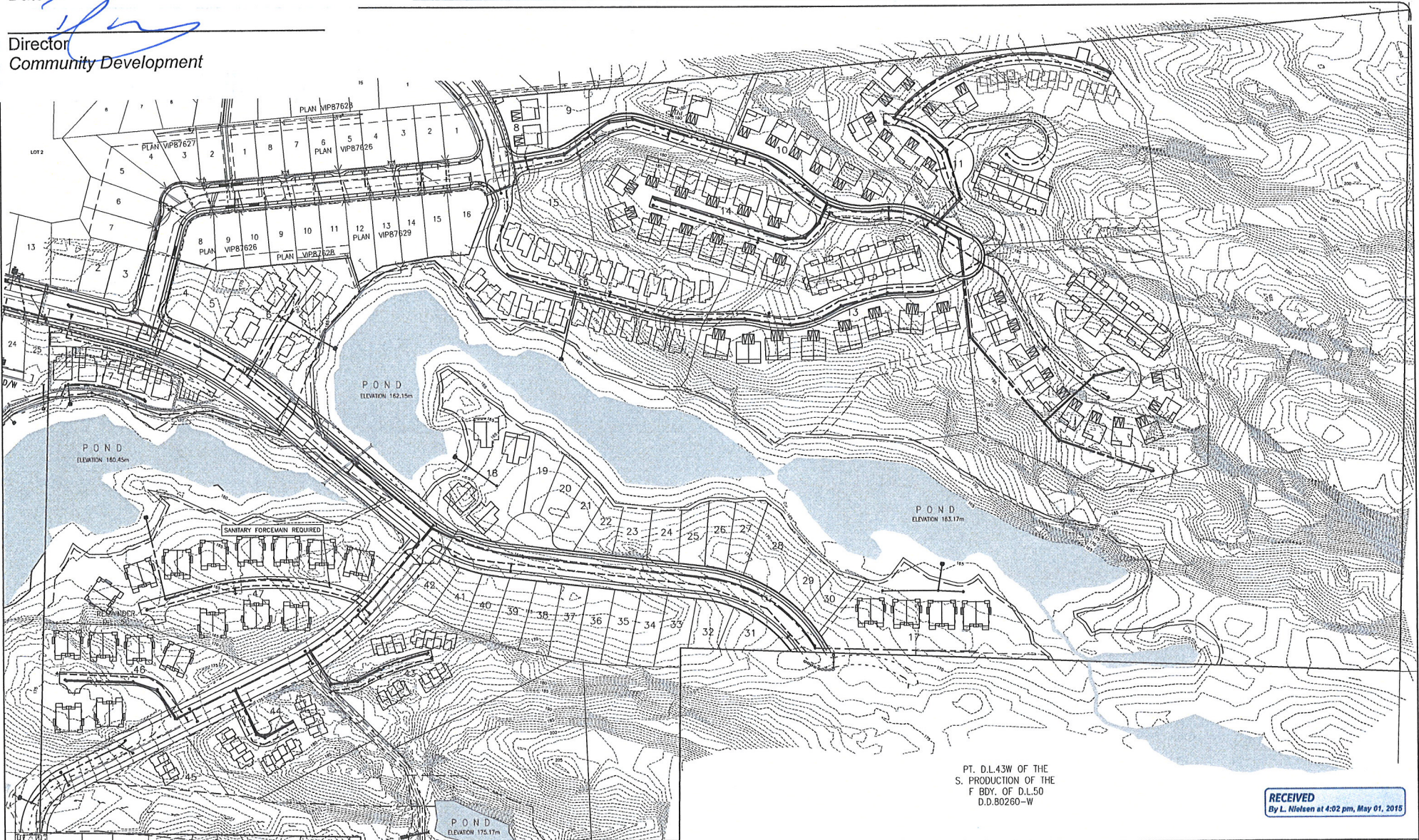
Schedule H

SITE SERVICING PLAN

2015-MAY-27

Date

Director
Community Development



PT. D.L.43W OF THE
S. PRODUCTION OF THE
F. BDY. OF D.L.50
D.D.80260-W

RECEIVED
By L. Nielsen at 4:02 pm, May 01, 2015

<table border="1"> <tr> <th>Rev. No.</th> <th>DATE</th> <th>BY</th> <th>REVISION DESCRIPTION</th> </tr> <tr> <td>01</td> <td>03/11/15</td> <td>DB</td> <td>REVISED LAYOUT - NOT FOR CONSTRUCTION</td> </tr> <tr> <td>02</td> <td>04/30/15</td> <td>DB</td> <td>REVISED LAYOUT - NOT FOR CONSTRUCTION</td> </tr> </table>	Rev. No.	DATE	BY	REVISION DESCRIPTION	01	03/11/15	DB	REVISED LAYOUT - NOT FOR CONSTRUCTION	02	04/30/15	DB	REVISED LAYOUT - NOT FOR CONSTRUCTION	<p>ENGR RHS</p>	<p>LEGEND</p> <table border="1"> <tr> <th>SYMBOL</th> <th>DESCRIPTION</th> </tr> <tr> <td>---</td> <td>WATERMAIN</td> </tr> <tr> <td>---</td> <td>STORM SEWER</td> </tr> <tr> <td>---</td> <td>SANITARY SEWER</td> </tr> <tr> <td>---</td> <td>GAS MAIN</td> </tr> <tr> <td>---</td> <td>ELECTRICAL DUCT</td> </tr> <tr> <td>---</td> <td>CURBENT & DITCH</td> </tr> <tr> <td>---</td> <td>DITCH INLET/OUTLET</td> </tr> <tr> <td>---</td> <td>SHALE</td> </tr> <tr> <td>---</td> <td>EDGE OF PAVEMENT</td> </tr> <tr> <td>---</td> <td>VALVE BOX</td> </tr> <tr> <td>---</td> <td>LIMIT OF CONSTRUCTION</td> </tr> </table>	SYMBOL	DESCRIPTION	---	WATERMAIN	---	STORM SEWER	---	SANITARY SEWER	---	GAS MAIN	---	ELECTRICAL DUCT	---	CURBENT & DITCH	---	DITCH INLET/OUTLET	---	SHALE	---	EDGE OF PAVEMENT	---	VALVE BOX	---	LIMIT OF CONSTRUCTION	<p>SITE LEGAL DESCRIPTION</p> <p>PART OF REMAINDER D.L.50 080260-W, WELLINGTON DISTRICT</p> <p>BENCHMARK DESCRIPTION</p> <p>ELEVATIONS ARE GEODETIC AND ARE REFERRED TO MONUMENT No. 79H0326 LOCATED ON LOST LAKE ROAD ELEVATION = 167.172m</p>	<p>ENGINEER'S SEAL</p> <p>DESIGN: RHS DRAWN: DB CHECKED: RHS PLD DATE: 04-30-15 PRINT DATE:</p> <p>HORIZONTAL SCALE: 1:1000 VERTICAL SCALE: N/A</p>	<p>CLIENT NAME</p> <p>MOUNT BENSON DEVELOPMENTS INC</p> <p>PROJECT NAME</p> <p>LINLEY PARK ESTATES 5701 VANDERNEUK ROAD</p>	<p>DRAWING TITLE</p> <p>PRELIMINARY SCHEMATIC SERVICING PLAN</p> <table border="1"> <tr> <th>PROJECT TYPE</th> <th>CLIENT No.</th> <th>PROJECT No.</th> <th>DRAWING No.</th> <th>REVISION No.</th> <th>CITY PLAN FILE No.</th> </tr> <tr> <td>L</td> <td>019</td> <td>08</td> <td>100</td> <td>02</td> <td></td> </tr> </table>	PROJECT TYPE	CLIENT No.	PROJECT No.	DRAWING No.	REVISION No.	CITY PLAN FILE No.	L	019	08	100	02	
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